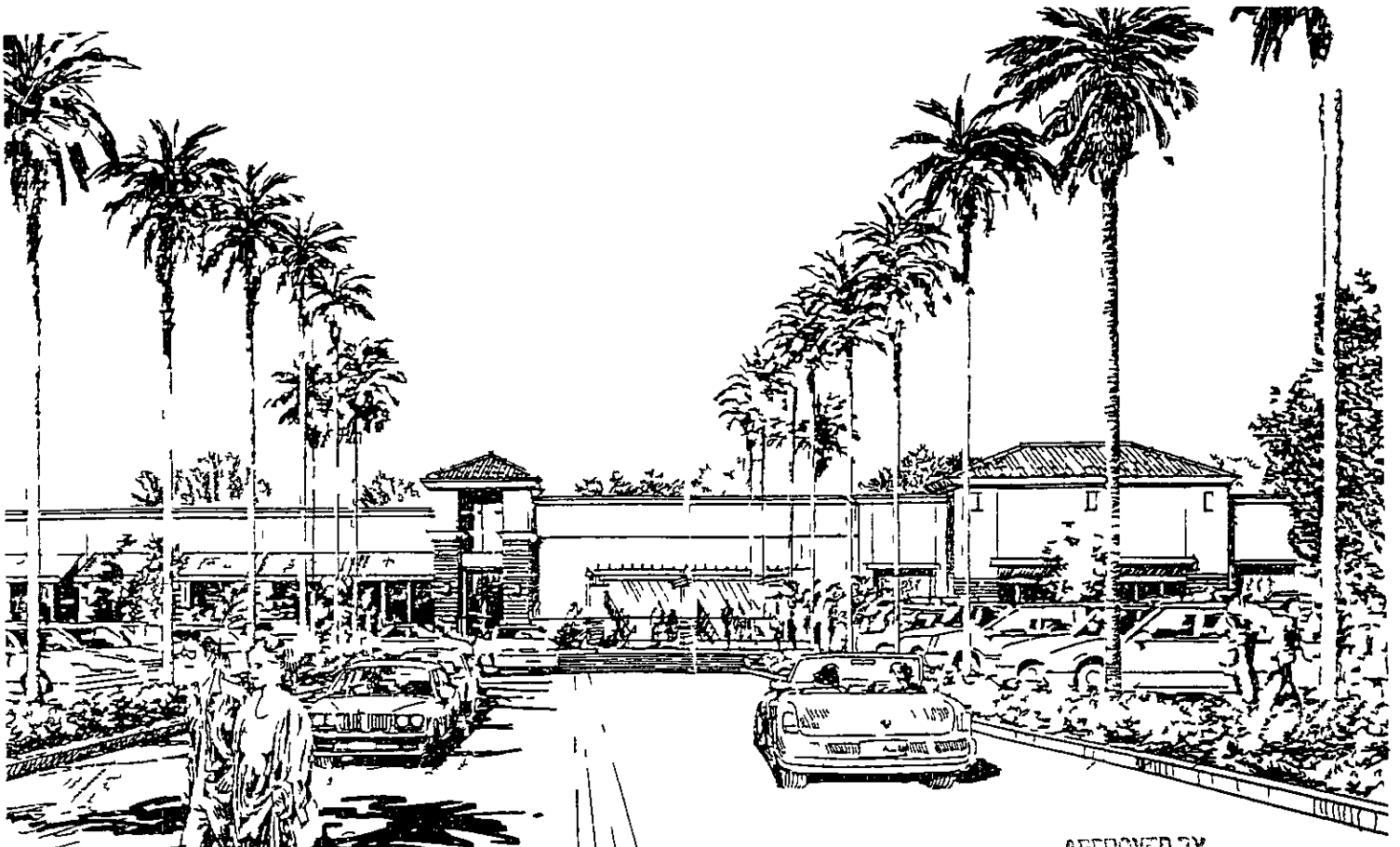


Highland Reserve Marketplace

Design Guidelines




APPROVED BY
PLANNING COMMISSION
CITY OF ROSEVILLE

Developer
Donahue Schriber Realty Group L P

City of Roseville
Roseville, California

January 13 2003 REVISED

ATTEST 

PER DRP CONDITION #8
SEE DESIGN GUIDELINES APPROVED
BY PLANNING DATED 1/27/03

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PLANNING DEPARTMENT

Highland Reserve Marketplace

Design Guidelines

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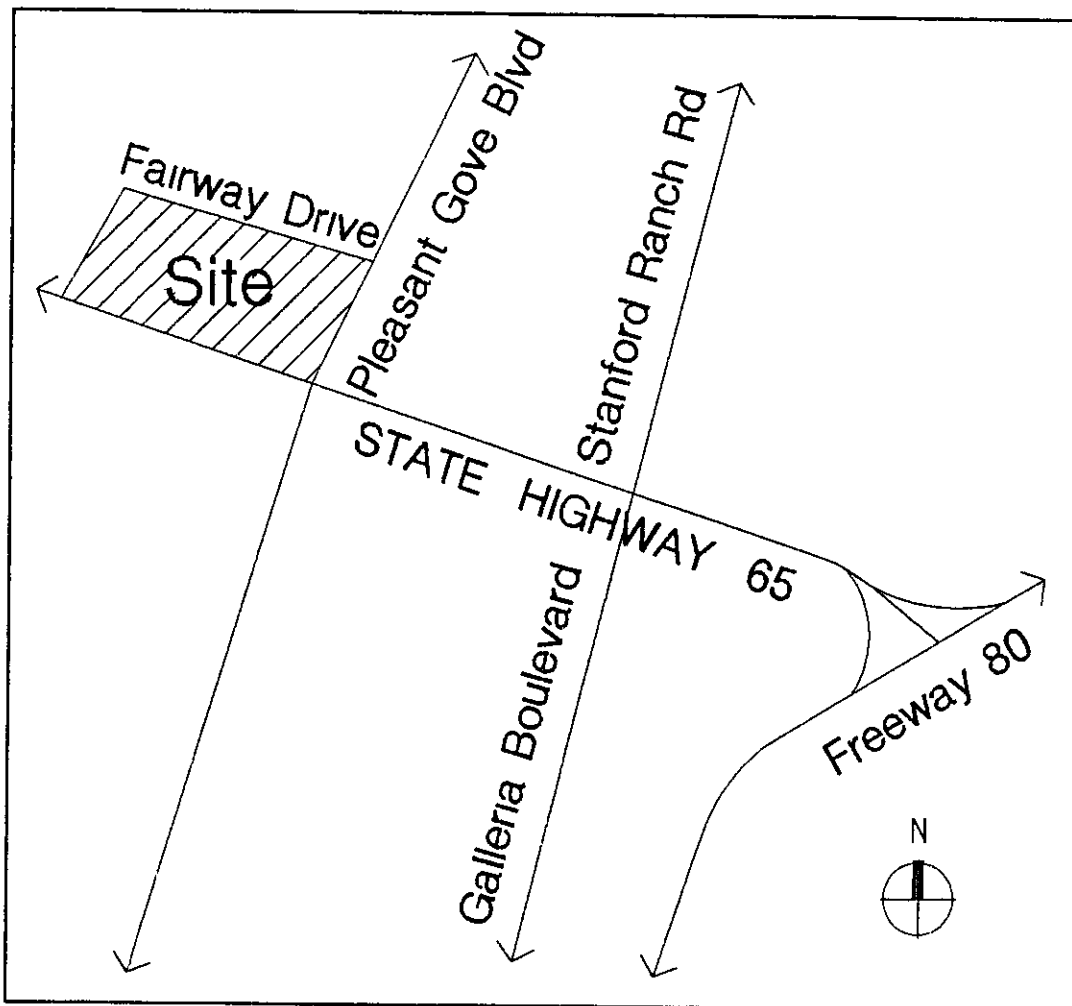
Prepared for Donahue Schriber
Prepared by Clarkewerks Architecture, Inc

Introduction

Highland Reserve Marketplace is a +/- 22 acre project providing retail uses for the Roseville region. The retail combines the elements of neighborhood shopping with special retail and uses to provide the community with needed services.

The site is located at the southwest corner of the intersection of Pleasant Grove Boulevard and Fairway Drive. Highland Reserve Marketplace is bounded on the north by vacant land. On the West side of the development is Commercial Development and Target Store. To the South is State Highway 65. The East side is bound by Pleasant Grove and Commercial Retail Development.

Highland Reserve Marketplace is planned to be designed in a manner that will be consistent with the concepts established with the Highland Reserve North Specific Plan.



General Requirements

To promote the quality of design planned for this project the development guidelines given in this document define criteria for the site planning landscaping architecture exterior lighting and exterior signage that enhance the coordination organization function and identity of the site while maintaining a compatible relationship with the community

All development must comply with the Highland Reserve Marketplace Design and Planning Concepts and the Conditions of Approval for this project To the extent that these guidelines are more stringent than any city state or federal regulation these guidelines shall control To the extent if any city state or federal regulation is more stringent it shall control

All site planning landscaping architectural lighting and signage design is to be coordinated to provide a consistent and comprehensive design character for the project

The objective for **site planning** is to establish a functional and effective organization of buildings circulation parking and service areas that enhances the identity and efficiency of the project and its relation to surrounding future development The project will be designed to allow safe access to from and within the site for pedestrians and bicyclists

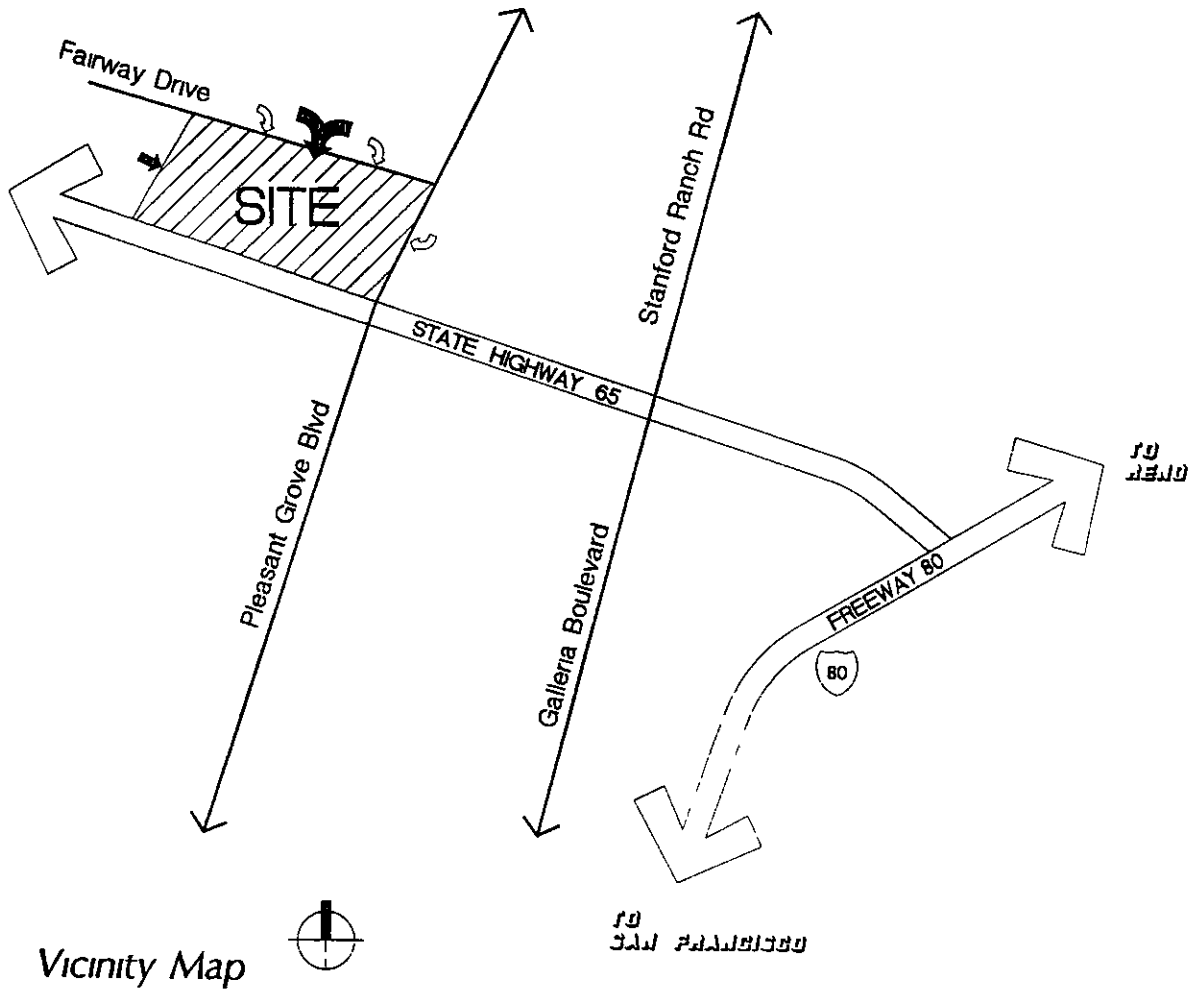
The objective for **landscaping design** is to create a pleasant and distinctive environment that reinforces the site plan enhances building frontages softens parking areas buffers service areas and maintains street continuity

The objective for **architectural design** is to create a distinctive but compatible building image that denotes unique building activities while maintaining a character consistent with forms and materials similar to the buildings located in the the area





The objective of **exterior lighting** is to create a safe and distinctive nighttime environment while avoiding adverse impact on surrounding future development

Site Planning

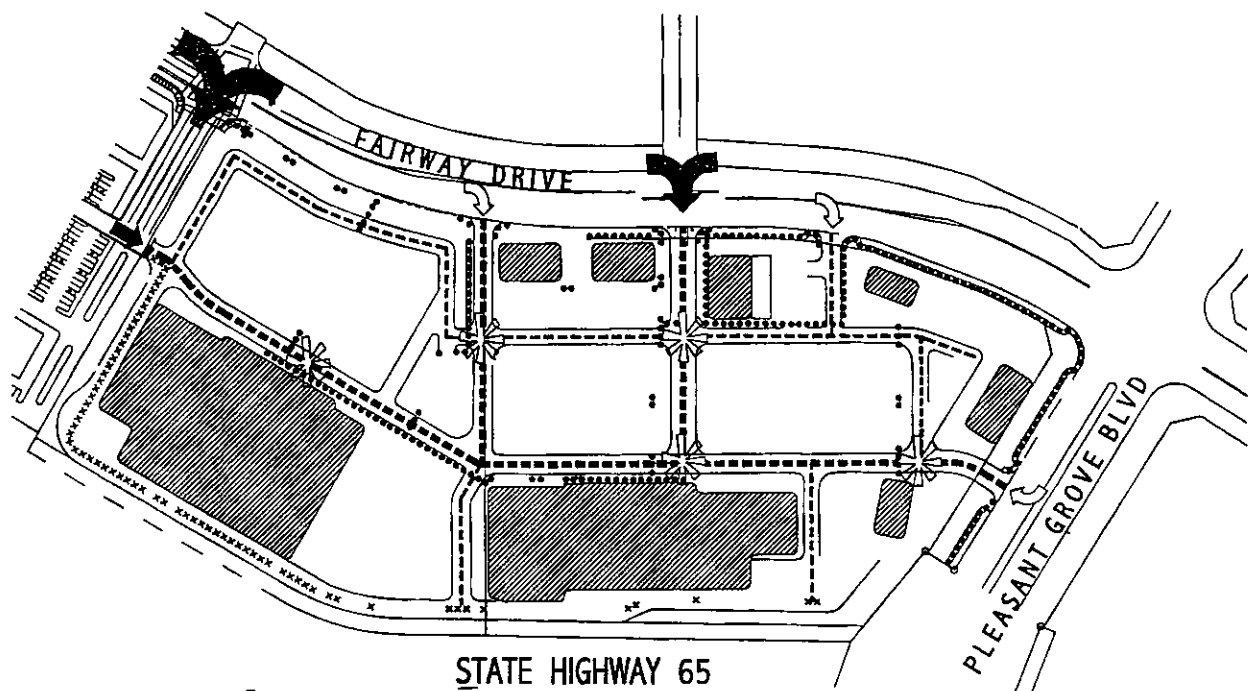
Contextual Relationships











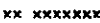

LEGEND

-  MAIN ENTRANCE
FULL VEHICLE ACCESS COORDINATED
WITH EXISTING STREETS
-  MAIN ENTRANCE
LEFT TURN IN AND RIGHT EXIT
-  ACCESS TO ADJACENT DEVELOPMENT
-  SECONDARY ENTRANCE RIGHT IN AND RIGHT EXIT

Site Planning Organization



LEGEND

-  BUILDING ZONES- BUILDING FOOTPRINT AND SERVICE AREAS
 -  MAIN ENTRANCE
FULL VEHICLE ACCESS COORDINATED WITH EXISTING STREETS
 -  MAIN ENTRANCE
LEFT TURN IN AND RIGHT EXIT
 -  ACCESS TO ADJACENT DEVELOPMENT
 -  SECONDARY ENTRANCE
RIGHT IN/RIGHT EXIT
 -  PRIMARY VEHICULAR CIRCULATION
 -  SECONDARY VEHICULAR CIRCULATION
 -  PRIMARY PEDESTRIAN CIRCULATION
 -  SERVICE VEHICULAR CIRCULATION
 -  PEDESTRIAN ACTIVITY NODE
- PEDESTRIAN ACTIVITY NODES TO INCLUDE
- SITE FURNITURE
 - POTTED PLANTS
 - BANNER POLES
 - ACCENT COLOR ON ARCHITECTURE
 - ENHANCED PAVING

Exterior Lighting Concept

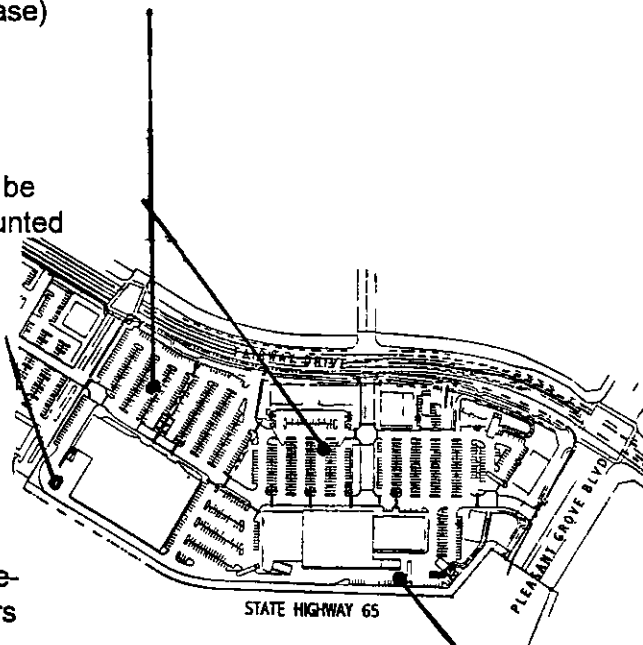
LIGHTING KEY PLAN

Parking lot lighting shall be on 25' max poles (from grade incl Base) with 2 or 4 fixtures

Security lighting at service areas shall be directional wall mounted or shoe-box cut-off fixtures with metal halide lamps

No security light fixtures above wall parapet

Meter boxes above-ground transformers and other utilities should not be highlighted with lighting



All exterior lighting must be shielded to prevent off-site glare

Entry drive lights shall be decorative post-top fixtures with 400 watt metal halide lamps on 25 high poles

Pedestrian walkways and entry accents shall be pedestrian-type fixtures on 15 high poles incorporating themed graphics

Tenant entries shall be accented with canopy lights

Ornamental wall washing fixtures may be used to highlight feature wall areas

Lighting at service areas shall be downward facing

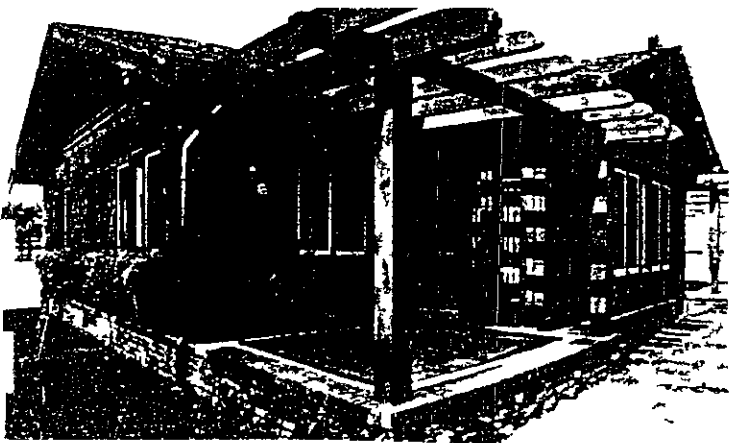
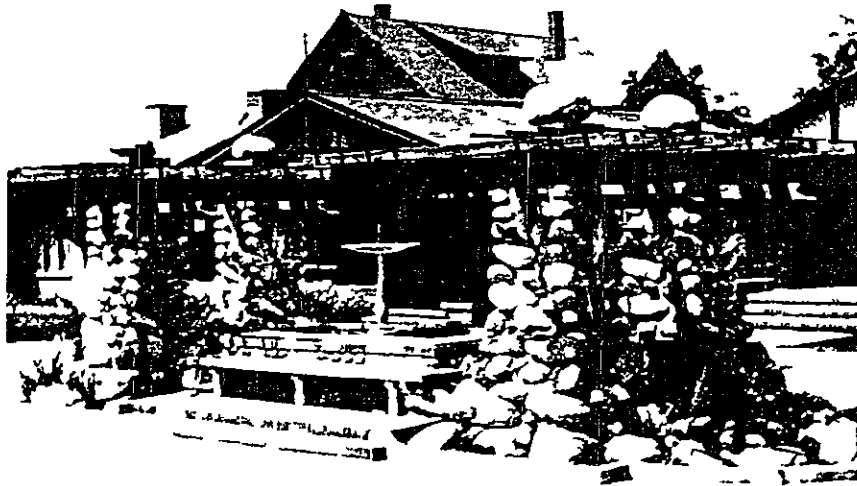
Architecture

Concepts

The forms and articulation for this project have been derived from the "Craftsman aesthetic"

The project should include a variety of interrelated and interconnected forms materials and colors consistent with a Craftsman aesthetic quality

Borrowed elements include exposed rafters stone work trellis members overhanging eaves and linear massing



Architecture

Building Districts I, II, III & IV

Individual buildings shall be grouped into four distinct districts (See Page 9)

District IA & IB Located along the South property line this zone may contain either one or a mix of the following uses **Retail**

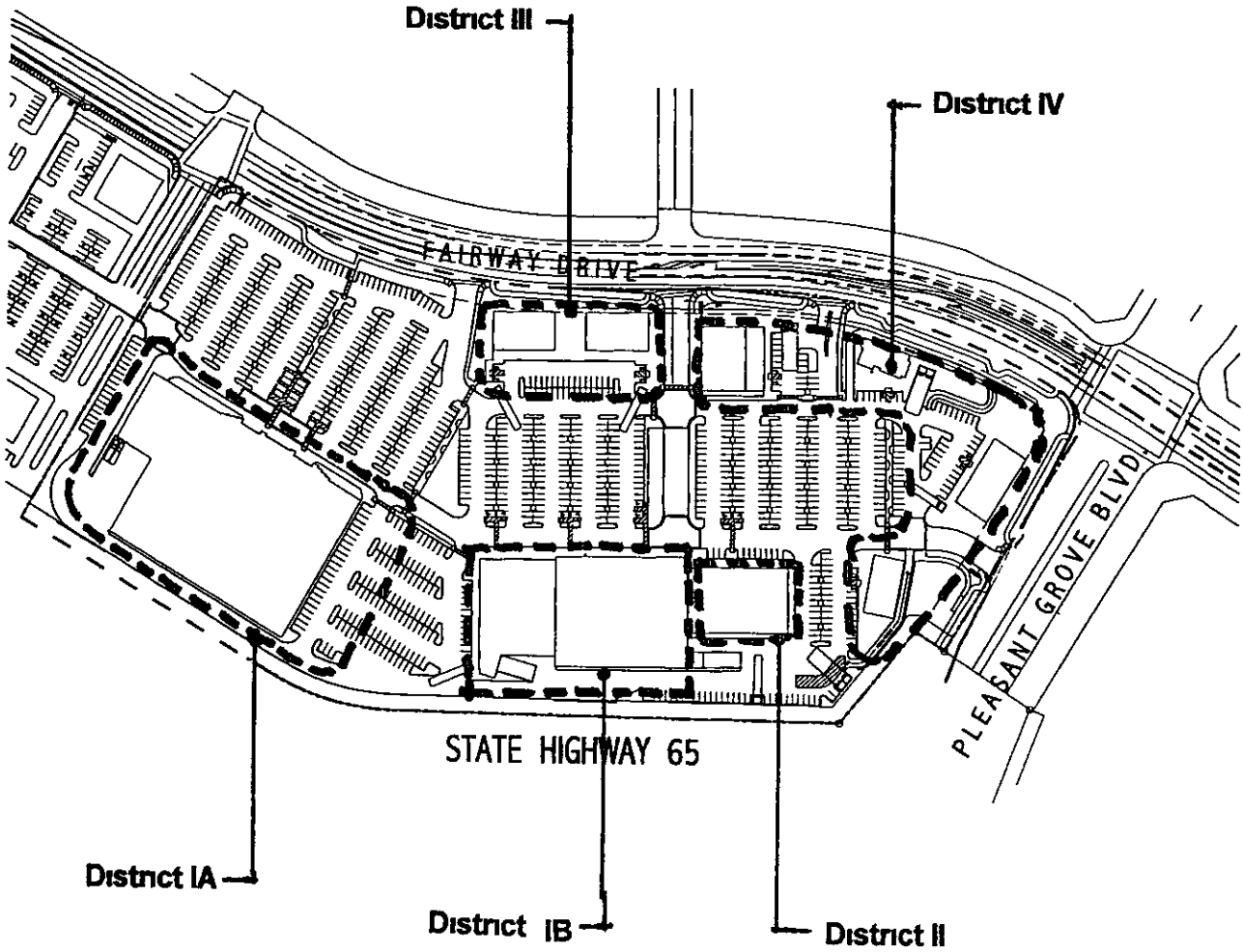
Retail The planning and architecture of this use within this zone must accommodate a hierarchy of retailers to reflect the promotional value of these tenants Primary Major Tenants (in excess of 80 000 SF) shall command the largest presence in terms of wall height sign height letter height aggregate sign area and size of entry statement Secondary Major Tenants (greater than 15 000 SF and less than 80 000 SF) shall have significant architectural massing and presence second only to the primary tenants

District II **Retail Promenade** Located in the center of the project this zone contains the primary retail component for this center The planning and architecture of buildings within this zone must accommodate a hierarchy of retailers to reflect the promotional value of these tenants

District III **Village Cluster** This area is located at the central and northern part of the site and will have a major impact on the public image of the project The architecture of buildings associated with this zone shall reflect the characteristics of its primary components specialty retail and food The anticipated multi-tenant building cluster will result in unique opportunities of varied massing and tenant identity while relating to the consumer at a pedestrian scale

District IV **Satellite (Pad) Buildings** Building Pad locations are distributed around the perimeter of the project and along primary interior circulation routes Architectural consistency shall be maintained for all pad buildings The consistency shall be derived from forms and materials associated with the project's "Craftsman" design vocabulary Pad buildings although smaller in scale than buildings of the Retail Promenade and Village Cluster will incorporate similar entry enhancements wall articulation and subtle diversity in materials and forms Corner building (Pad 4) is a primary building Massing and architecture should be further articulated more than the other Pad buildings on the site

Building District Key Map



Architecture

Articulation All Buildings

Buildings in these districts shall be articulated with three components

Building Base Component

The lower area of the building facade shall be pedestrian oriented and consistent in thematic detail throughout the project. The height of this component shall be consistent for each district.

- Materials**
- Concrete
 - Concrete Masonry
 - Cement Plaster
 - Tile (accent only)
 - Texcote
 - Cultured Stone

Modular Articulation Component

This area above the building base shall have a modular articulation consistent for each district. Variations to this module will provide each tenant with an individual identity while also providing consistency throughout the project.

- Materials**
- Concrete Masonry
 - Cement Plaster
 - Tile (accent only)
 - Texcote
 - Cultured Stone

Articulation Elements

- Concrete/Plaster Reveals
- Patterned Masonry
- Glass Fiber Reinforced Conc
(G F R C)
- Wood Trim
- Wood Trellis

Tenant Entry Component

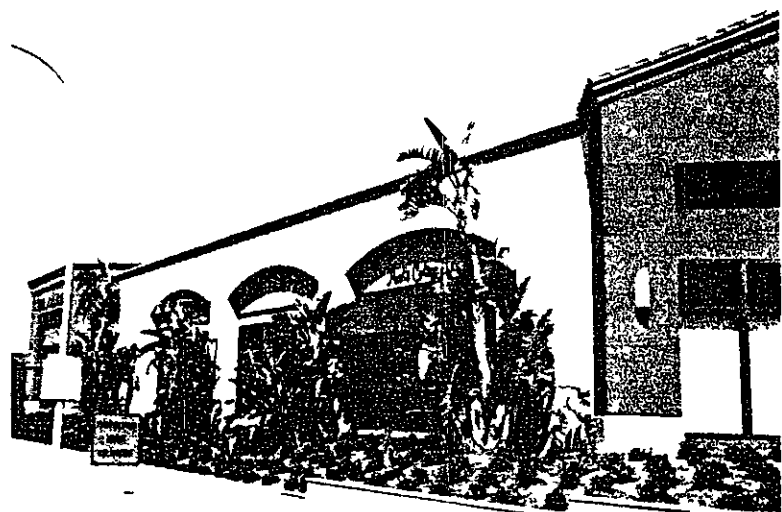
This component shall focus on tenant identity and will incorporate the tenant's color signage, cement plaster backdrop, and canopy.

- Materials**
- Cement Plaster
 - Tile Inlay (accent only)
 - Wood
 - Texcote
 - Cultured Stone

Architecture

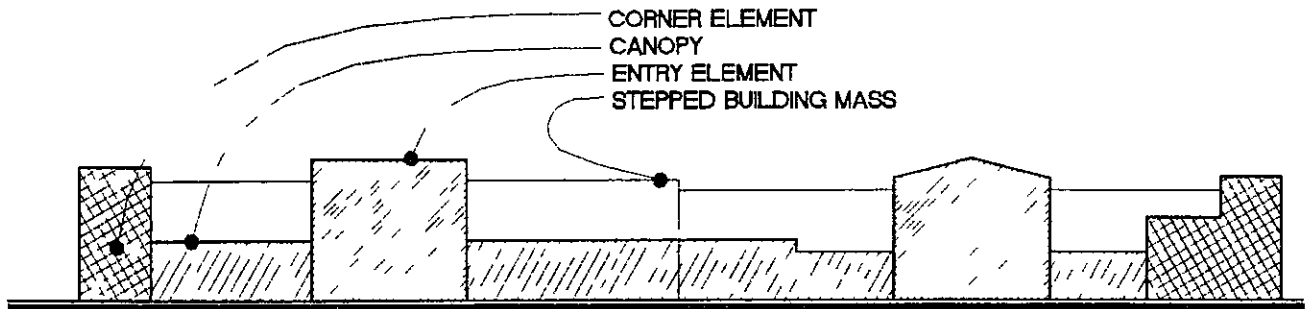
Building Walls All Buildings

- Parapets** Parapet heights shall be high enough to screen roof-mounted equipment from adjacent roadways. These shall be designed to be compatible with the rest of the Development. Changes in parapet height shall be used to enhance tenant/building entries, provide tenant individuation, and articulate building elements (i.e., parapets and corners).
- Materials** Wall shall have either a monolithic finish or be constructed with unit masonry. The use of rustic building materials such as wood are permitted. Canopies and exposed roofing shall be consistent with the rest of the Development. Awnings shall be either metal or canvas. Bases at Entry elements to have cultured stone.
- Building Colors** Colors, materials, and finishes shall be coordinated on all exterior elevations of all buildings to achieve total continuity of design. Building wall colors shall compliment tenant and project colors. Concrete Block and plaster surfaces shall be painted. See attached color palette.
- Accent Colors** Accent colors shall be used to identify and differentiate each tenant/building entry area. It may be used for signage, signage backdrops, and canopies, building corners, and for the modular articulation of the building.
- Drive Frontages** Main drive frontages are required to have architectural treatment consistent with the project design vocabulary. The elements of that treatment are overall facade massing, delineation with variety to wall plan and profile, wall treatment to consist of base, middle, and upper wall with cornice, pilaster, depth, colonnades, or trellises with variety of trim, tile, roof elements with exposed rafter tails, and awning elements.



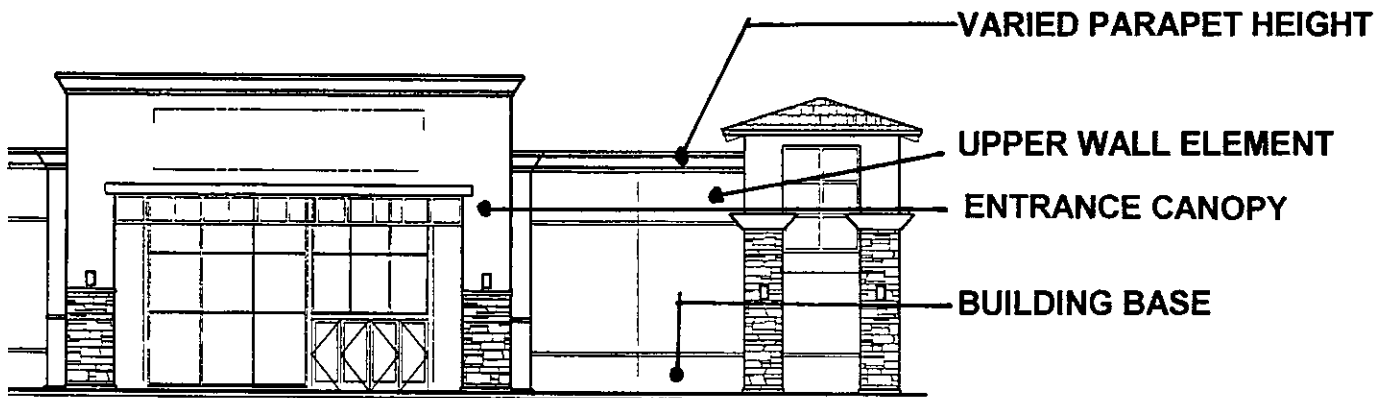
Architecture

All Buildings Mass and Articulation



Building Mass

Where possible, the building mass in this district should be stepped at each tenant Specialty treatment at corner and parapet elements tenant canopies and a series of entry elements shall provide vertical articulation for the project



Wall Articulation

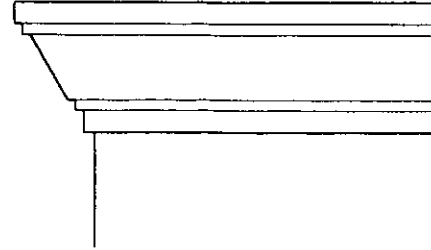
The building base should be a consistent height throughout this project and should coincide with the base of the entry pilaster. The Building Base shall vary in either color, texture, pattern, and material (per Page 10). The modular articulation component shall be in proportion to tenant entry. Wall heights may vary for each tenant.

Architecture

Elements All Buildings

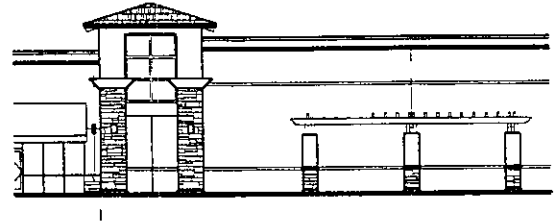
Cornices

Cornice elements are required to articulate the building form and provide variety to differentiate each tenant. See Sign Criteria.



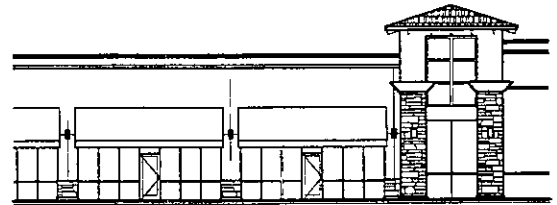
Wall transition zone

A smooth wall surface with change of building color or bookend framework shall occur at each building along pedestrian walkways where individual tenant walls meet. An expansion joint cover shall be provided, painted to match the adjacent building color.



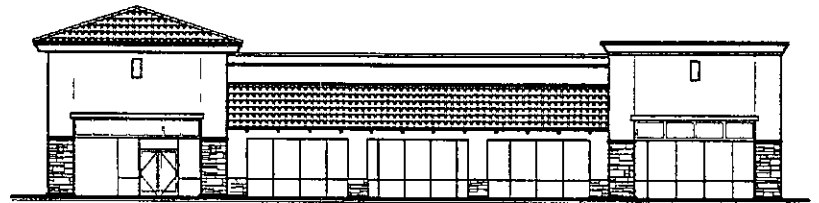
Building Corners

A change of material, color, surface, bookend form, or parapet height shall accentuate major building corners. Accent lighting is encouraged for these areas.



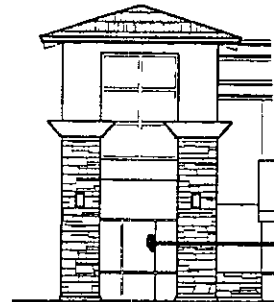
Canopies and Awnings

A variety of canopy forms are encouraged along pedestrian walkways. These forms include trellises and shed canopies supported by columns.



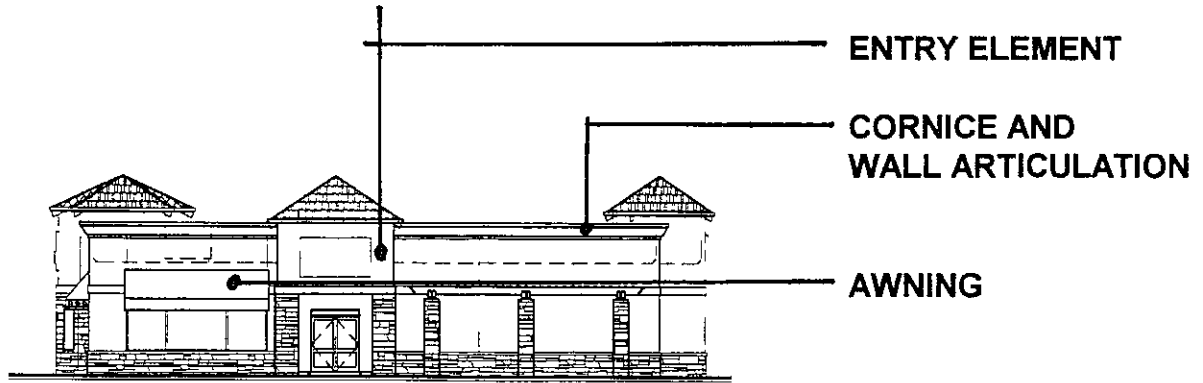
Theme Towers

The Theme Towers shall be located at strategic locations throughout the project. Towers shall be identical in height, color, and material. Accent lighting is encouraged.



Architecture

Building District IV Village Cluster/Drive-Thru
Tenant Entries Food Buildings



Elevation

This District shall be developed as individual Signature Pad buildings. Entries shall be defined by a canopy covered walkway or tower. A variety of roof forms are encouraged. The dominant forms shall be the Entry Towers which should be visible from all directions. Parapet elements, and tenant entries shall provide additional vertical articulation. Building parapets shall conceal all roof-mounted equipment as viewed from Fairway Drive and Pleasant Grove Boulevard. Buildings shall incorporate a combination of elements consistent with the overall project. Elements shall include canopies/awnings, cornices, building accent corners, or towers, trellises, etc. Drive-Thru pick-up windows shall be oriented away from Fairway Drive. A trellis shall be incorporated at location of pick-up windows. As a Signature pad the building shall incorporate as many elements as possible.

Maximum Building Heights

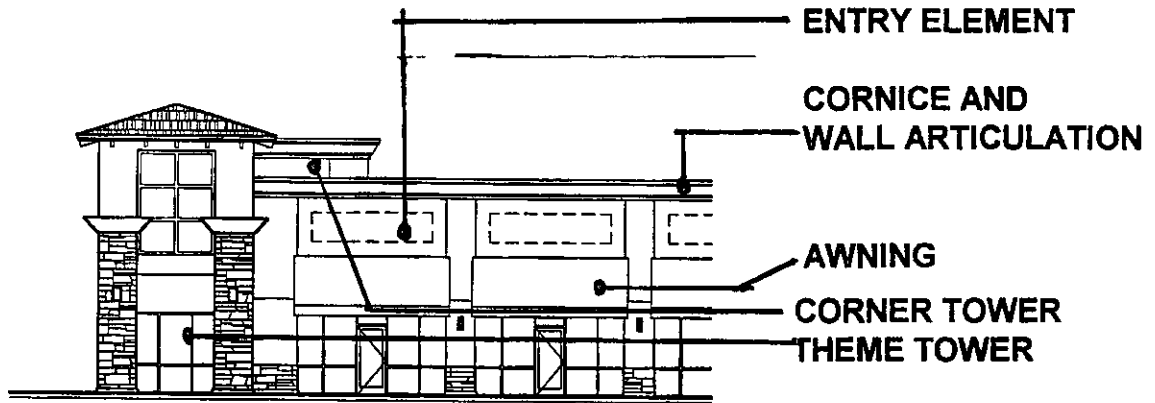
Primary Entry height	25
Typical parapet height	19
Corner elements	25
Tower Elements	25

Building Materials

See Articulation page 10

Architecture

Building District IV Village Cluster/Pad Building
Tenant Entries Specialty Retail/Food Buildings



Elevation

This District shall be developed as individual "Signature" Pad buildings. Entries shall be defined by a canopy, covered walkway, or tower. A variety of roof forms are encouraged. The dominant forms shall be the Entry Towers, and Theme Tower which should be visible from all directions. Parapet elements and tenant entries shall provide additional vertical articulation. Building parapets shall conceal all roof-mounted equipment as viewed from Fairway Drive and Pleasant Grove Boulevard. Buildings shall incorporate a combination of elements consistent with the overall project. Elements shall include canopies, awnings, cornices, two building accent corners and one corner tower and Theme tower, trellises, etc. As a "Signature" pad the building shall incorporate as many elements as possible.

Maximum Building Heights

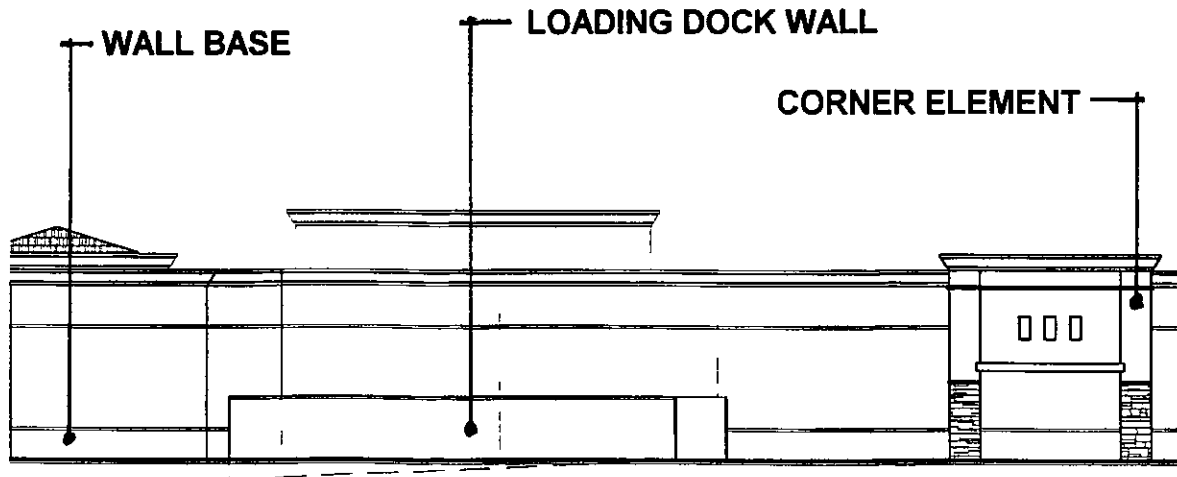
Theme Tower	30'
Primary Entry height	26'
Typical parapet height	22'
Corner elements	26'

Building Materials

See Articulation page 10

Architecture

All Building Districts
Service Areas



Service Areas Building walls at service areas shall be compatible with the architectural vocabulary of entire Center

Wall Base Wall base shall match color and height of wall base along the promenade Wall texture and articulation may be simplified

Modular Articulation Wall materials, color and articulation may be simplified to be compatible with the wall base articulation Parapet Height shall screen all roof-mounted equipment form adjacent roadways Trash recycling and other equipment enclosures shall match the building wall Minimum height of enclosures shall be 6'-0 Loading docks may have a solid wall

Loading Dock wall heights

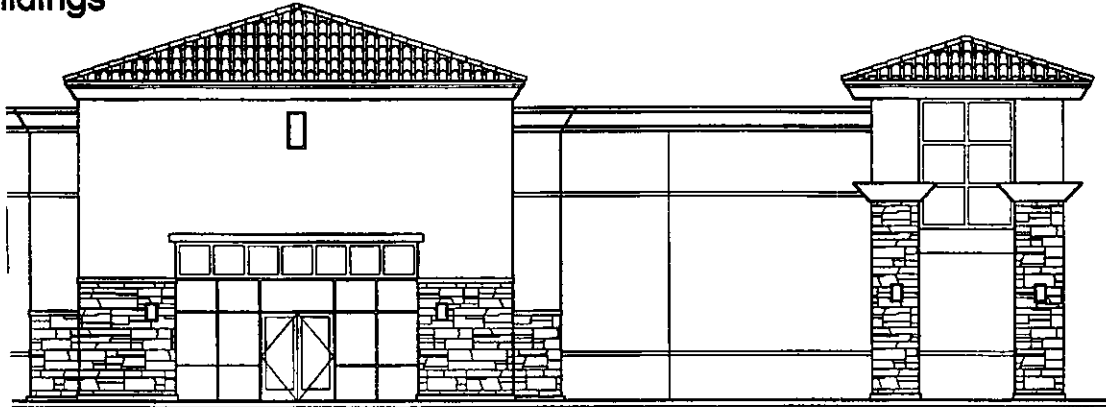
Screen wall

8' max
12' max

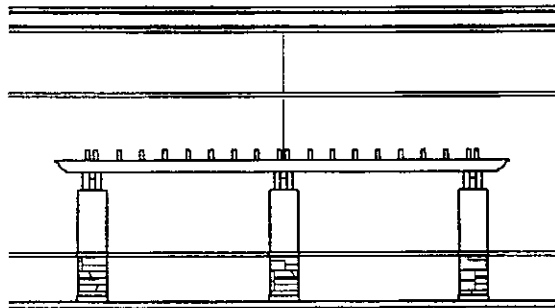
Building Materials

See Articulation on page 10

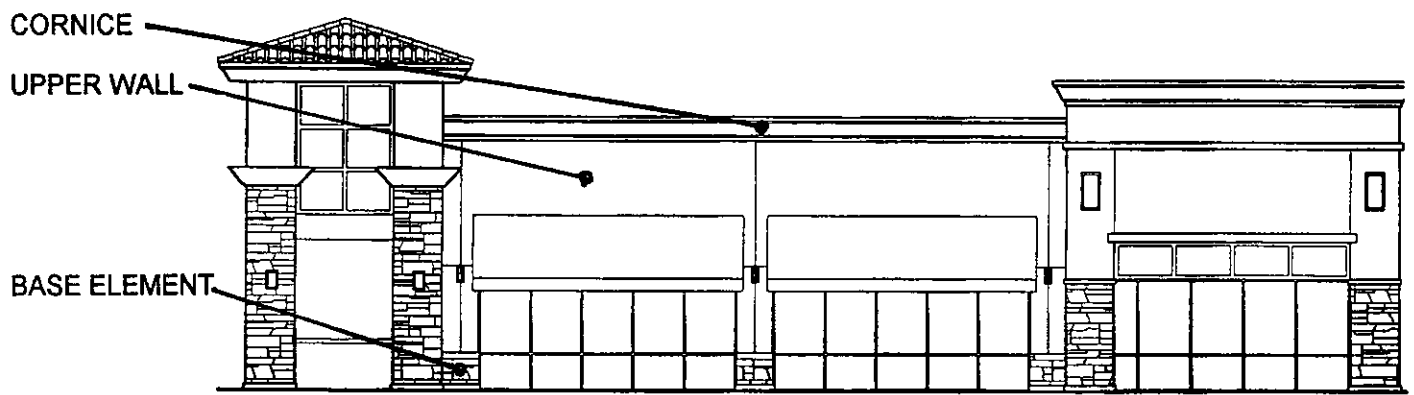
Architectural Details
All Buildings



Arches. arcs or straight - with dimensional trim



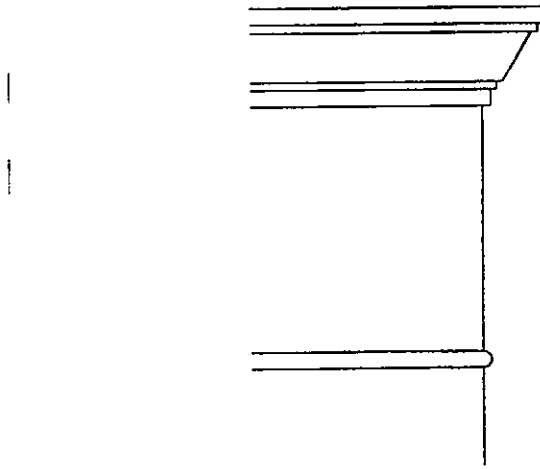
Trellis: Monolithic columns with exposed stained wood beams and trellis



Building Wall components of the base building

Highland Reserve Marketplace-Design Guidelines

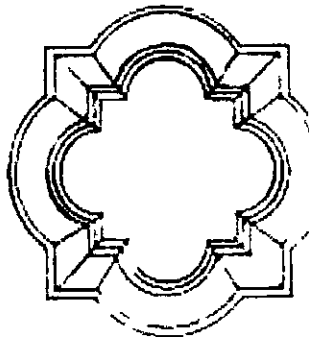
Architectural Details *con't*



Cornice Elements.



Ornamentation:



LANDSCAPING

The landscape design for Highland Reserve Marketplace sets a high standard for quality landscape design construction and maintenance in the center. The landscape will meet the following landscape criteria:

1. Assuring consistent aesthetic quality will enhance the consistency of the center. Plant patterning shall be consistent throughout the center in order to unify the site while allowing special accent zones where appropriate. The Landscape Development shall conform to the approved Landscape Plan as approved by the City of Roseville. (Refer to Figure L.1)

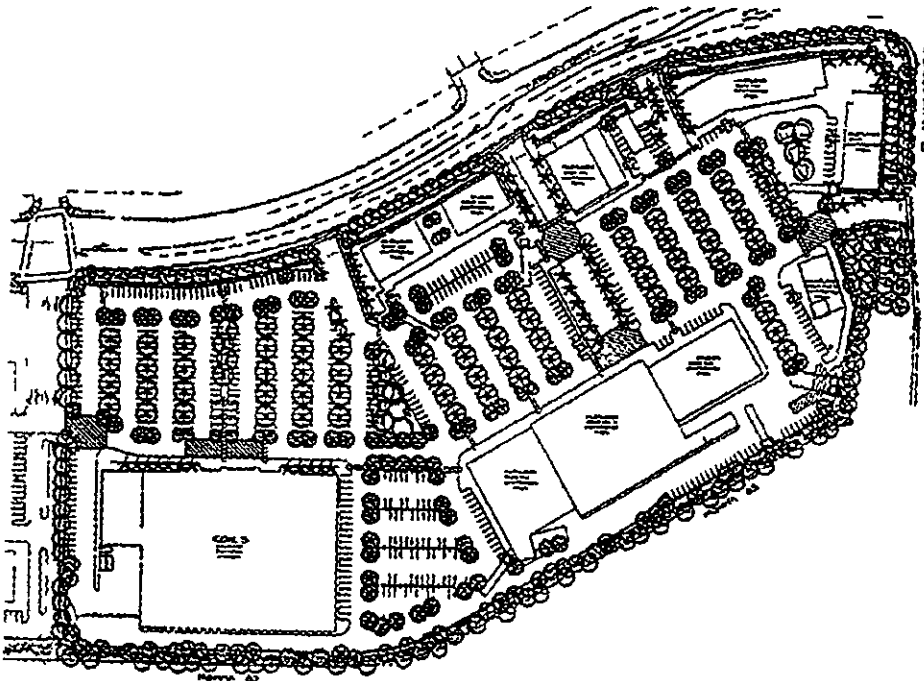


Figure L.1 Landscape Plan

2. The large traffic volume in parking areas requires a high degree of safety-conscious design. i.e.
 - a) Coordinating lighting and tree locations to allow retention of safe lighting levels
 - b) Retaining good visibility through proper height and placement of shrubs and trees
 - c) Providing barrier plantings where people should not congregate or pass
 - d) Coordinating grading of landscape areas to reduce erosion, drainage over walkways and steep slopes near pedestrian zones
 - e) Designing irrigation systems that deliver appropriate amounts of water while reducing conflicts with vehicular and pedestrian traffic
 - f) Rejecting weak-wooded or structurally unsound trees. Utilizing proper planting and staking procedures
 - g) Rejecting poisonous or injurious plants where people will congregate

- 3 Framing view of store fronts and/or signage from main drives and public roadways instead of blocking them
- 4 Considering special planting techniques in areas underlain with certain
- 5 Properly maintaining landscaped areas to present a healthy and thriving appearance Undeveloped areas shall be neat and presentable at all times
- 6 Patterning diverse plantings formally in the parking lots to ease way finding (helping visitors determine where they and how to negotiate the site) while promoting biodiversity and reducing contagious diseases or insect infestations
- 7 Screening service zones, trash areas and mechanical equipment with solid walls fences or shrubs Screening the back of the shopping center buildings from the hotel site to the east
- 8 Conform to requirements of the following documents
 - Landscape Design Guidelines for Highland Reserve North
 - City of Roseville Community Design Guidelines
 - Roseville Zoning Ordinance
 - Roseville Water Efficient Landscape Ordinance
 - City of Roseville Shading Ordinance
- 9 The following plant list shall be used exclusive to the Marketplace Highland Reserve developed area including future phases of improvements

Trees

Quercus wislizenii	Interior Live Oak
Celtis sinensis	Chinese Hackberry
Platanus acerfolia Bloodgood	Plane Tree
Pyrus calleryana Anstocrat'	Ornamental Pear
Sequoia sempervirens Soquel	Redwood
Pistacia chinensis	Chinese Pistache
Washingtonia filifera	Fan Palm
Magnolia grandiflora Samuel Sommer'	Magnolia
Pinus halepensis	Aleppo Pine

Shrubs

Convolvulus cneorum	Bush Morning Glory
Dietes vegeta Irioides	Fortnight Lily
Chaenomeles Coral Glow'	Quince
Hermerocallis hybrida Evergreen'	Yellow Daylily
Forsythia intermedia	Forsythia
Photinia fraseri	Photinia
Raphiolepis indica Springtime	India Hawthorne
Cercis canadensis	Eastern Redbud
Xylosma congestum	Xylosma

Vines

Parthenocissus tricuspidata	Boston Ivy
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Groundcovers

Juniperus sabina Broadmoor'	Broadmoor Juniper
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Cotoneaster horizontalis	Bearberry Cotoneaster
Gazania splendens Yellow	Gazania
Rosmannus O Prostratus	Creeping Rosemary
Festuca arubra	Fed Fescue
Trachelospermum jasminoides	Star Jasmine

Turf

95% Tall Fescue and 5% Kentucky Bluegrass

10 Maintaining high standards of construction including attention to details of tree planting soil preparation and irrigation design Refer to Figure L 9

LANDSCAPE SPECIFIC REQUIREMENTS

The following specific requirements are described for the various landscape areas of the Center

- I Fairway Drive Improvements
- II Highway 65 Frontage
- III Parking Areas
- IV Individual Pad Development
- V Major Driveway Entrances
- VI Pedestrian Corridors

These areas are noted in the Site Plan indicated as Figure L 2

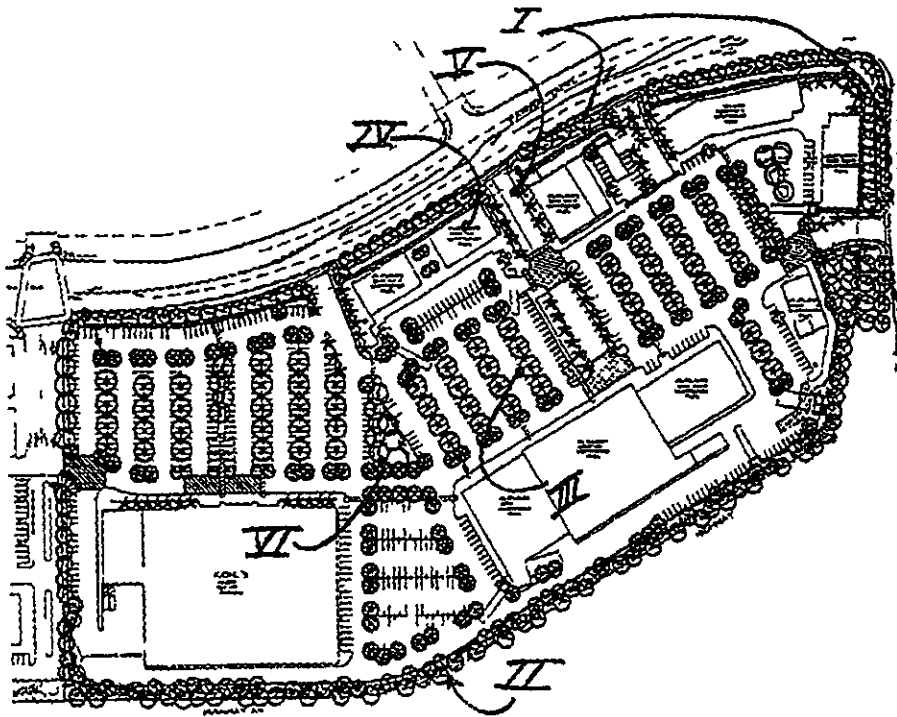


Figure L 2 Landscape Specific Requirement Areas

I FAIRWAY DRIVE/PLEASANT GROVE BOULEVARD IMPROVEMENTS

Landscape improvements adjacent to Fairway and Pleasant Grove shall conform to the requirements of the Highland Reserve North Design Guidelines. Enhancements to the landscape may be required to provide additional screening of parking areas, trash enclosures, utilities, and service areas.

Where pedestrian/auto gateways and/or signage occurs, enhanced annual color flower beds are encouraged to provide seasonal color. Minor adjustments to frame views to buildings and/or signs may be required.

The Highland Reserve North Design Guidelines require enhanced landscape design at the intersection of Pleasant Grove and Fairway. This shall be maintained intact in the built product. Refer to Figure L 3, L 4, and L 5 for typical requirements.

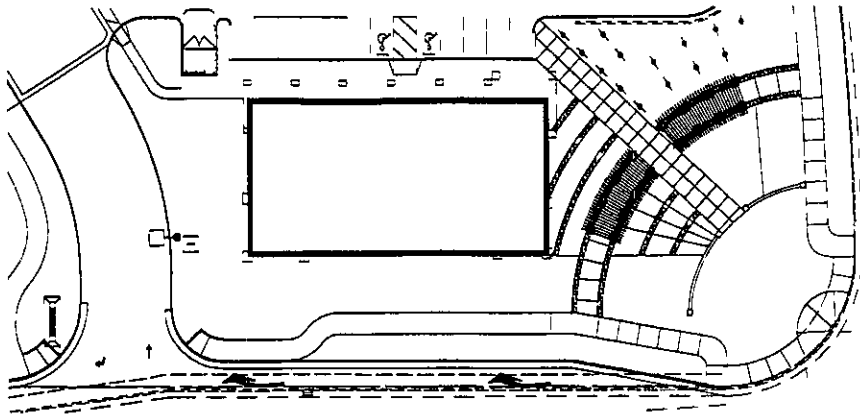


Figure L 3 Street Tree Pattern, Pleasant Grove

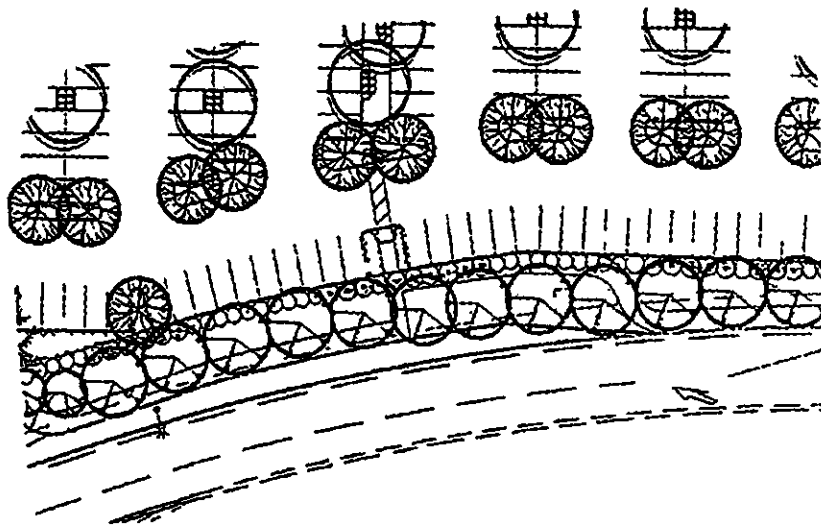


Figure L 4 Fairway Drive Street Tree Pattern










	QUERCUS INSLIZEN	INTERIOR LIVE OAK
	CELTIS SINENSIS	CHINESE HACKBERRY
	PLATANUS ACERIFOLIA BLOODGOOD	PLANE TREE
	PYRUS CALLERYANA ARISTOCRAT	ORNAMENTAL PEAR
	SEQUOIA SEMPERVIRENS SQUEL	REDWOOD
	PISTACIA CHINENSIS	CHINESE PISTACHE
	WASHINGTONIA FILIFERA	FAN PALM
	MAGNOLIA GRANDIFLORA 'SAMUEL SOMMER'	MAGNOLIA
	PINUS HALEPENSIS	ALEPPO PINE

Figure L 5 Tree Legend

II HIGHWAY 65 FRONTAGE

This area shall conform to the Highland Reserve North Landscape Design guidelines which require a combination of evergreen and deciduous trees. Refer to Figure L 5 and L 6 for typical pattern layout.

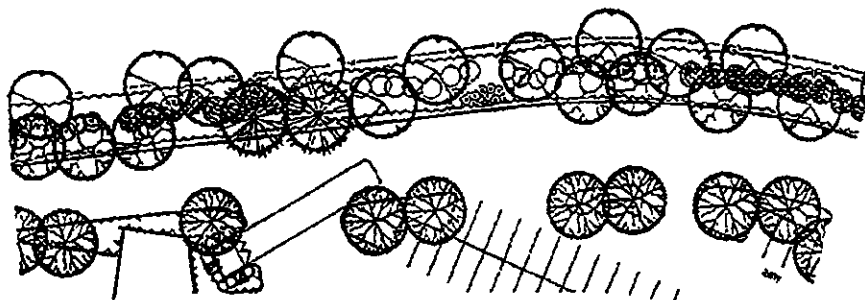
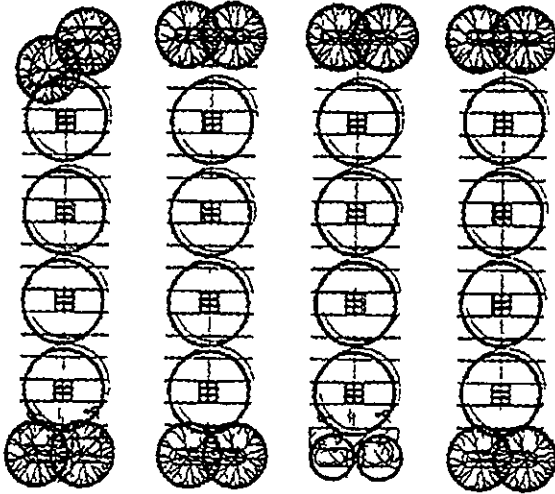


Figure L 6 Typical tree layout / Highway 65

III PARKING AREAS

Large canopy trees will be planted to achieve a minimum 50% tree shade as per the City of Roseville Shading Ordinance. Flexible shrubs and perennials that survive parking lot environments shall be used. In addition, the plant material water requirements shall be of low or medium water requirements. Refer to Figure L 5 and L 7 for typical layout patterns.



IV INDIVIDUAL PAD DEVELOPMENT

Pad areas should be kept neat and clean until they are developed at Highland Reserve Marketplace. When developed, they shall be designed to complement the overall site landscaping. Shade trees shall match those on site and be placed such that Roseville's 50% shade requirement is met within the pad parcel. Pad developers may, at the discretion of the shopping center owner's representative, have the option of connecting to the existing site irrigation system. Comply with the City's water conservation ordinance.

At least 50% of the proposed plant palette shall include plantings already existing on site. Draw from plant lists as published herein. Figure L 8 indicated key issues to be achieved when developing the individual pads.

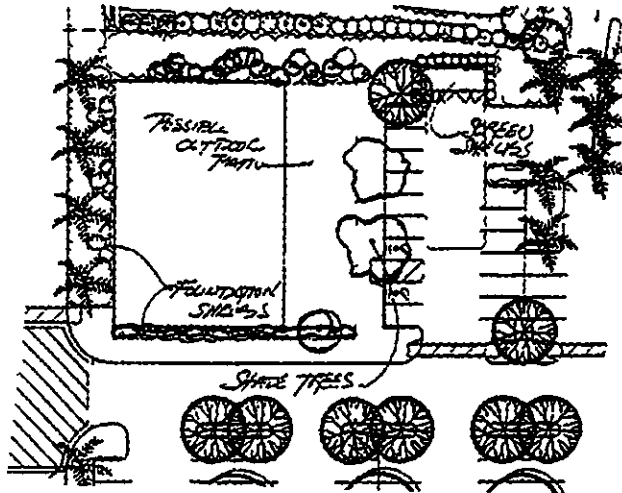


Figure L 8 Individual Pad Landscape Development

V MAJOR DRIVEWAY ENTRIES

Major Driveways shall be accented with *Washingtonia robusta*/Fan Palms where shown in Figure L 1 They shall incorporate low colorful shrubs and groundcovers to enhance driveway patterns Low to medium water use plant material shall be utilized whenever possible

VI PEDESTRIAN CORRIDORS

Pedestrian corridors shall be defined by the use of formal rows of accent trees of low and medium height flower shrubs Connections to the public right of way shall be highlighted by colorful perennials

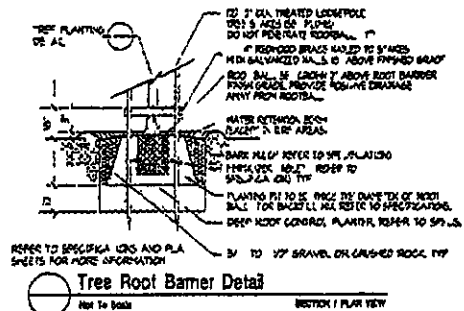
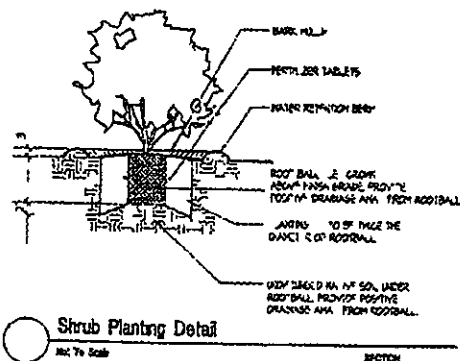


Figure L 9 Landscape Construction Standards